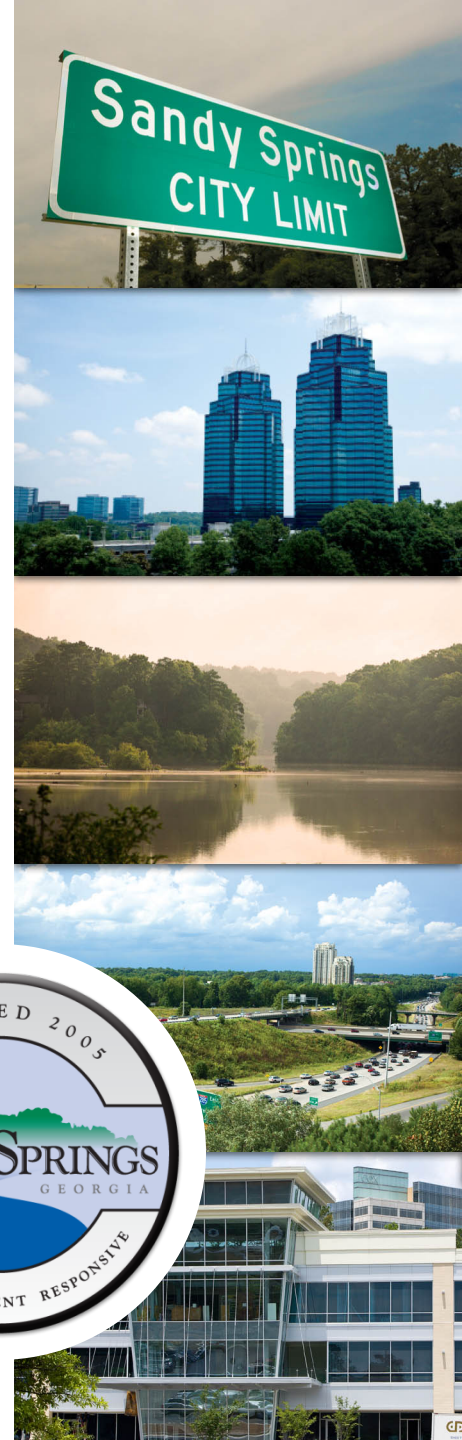


GROWTH AND DEVELOPMENT THE CURRENT ENVIRONMENT

City Council Retreat
January 2015



Current Environment - Reactive

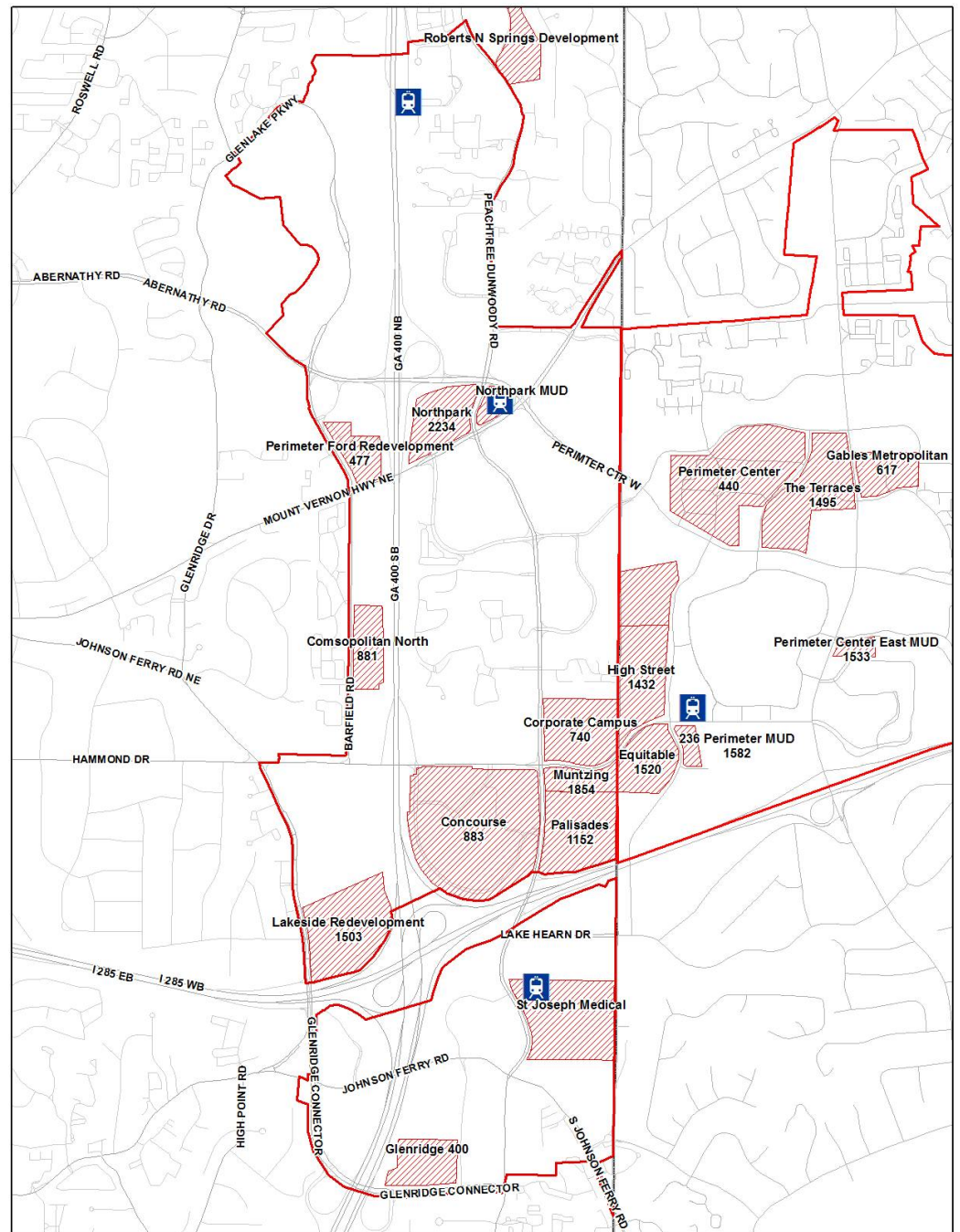
2

- Over 1,600 building permits issued in 2014
- In the last three years 54 new non residential buildings have be permitted
- 1,600 multi-family units under construction or recently completed
- A total of 15 DRIs since 2000 within the City
- 19 rezoning cases in 2013, 30 in 2014
- Three moratoriums to allow time to make Zoning Code changes
- Three Zoning Ordinance Amendments in 2012 and 2013, ten in 2014

DRI Map

3

Developments of
Regional Impact in
PCID approved
since 2000



Permit Activity

4

Permit Type	Permits Issued			
	2011	2012	2013	2014
New Commercial Buildings	8	16	17	21
New Single Family Detached Homes	60	119	133	145
New Single Family Attached Homes	28	96	168	122
New Multi-Family Residential Buildings	14	0	4	16
Commercial Improvements	427	509	581	638
Residential Improvements	753	687	728	735
Land Disturbance Permits	26	29	38	31
Demolition Permits	39	68	96	136
TOTAL	1,355	1,524	1,765	1,844

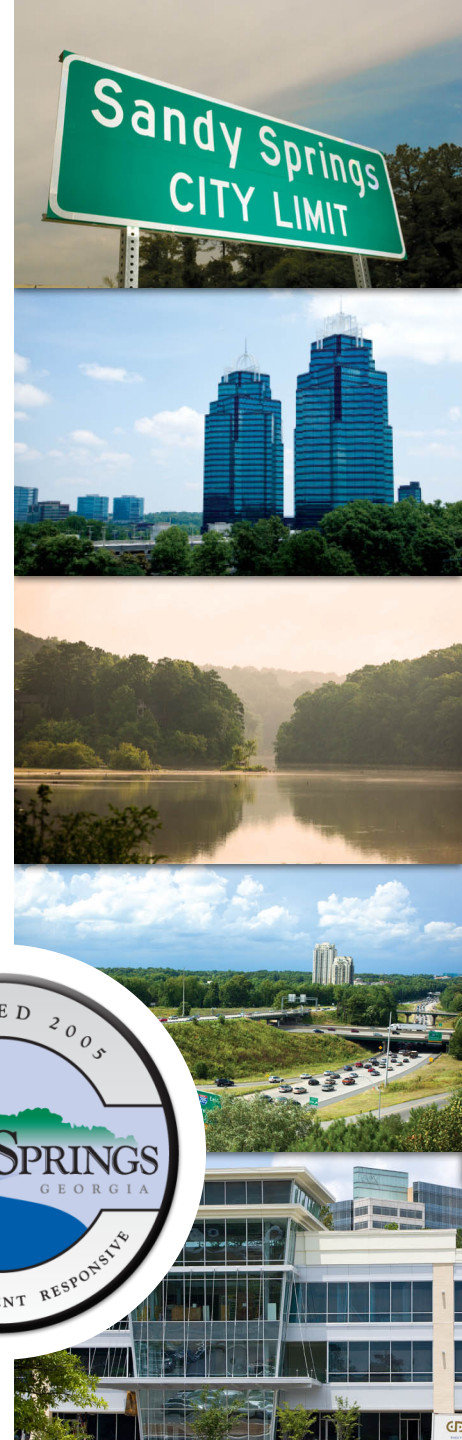
Current Environment - Reactive

5

- Significant amount of development occurring across the City
- Very few undeveloped parcels remain in PCID
- Once constructed these projects will be in place for many years; we have one chance to get it right
- Disconnect exists between the Comprehensive Plan and what is desired
- Planning by zoning case
- No quick fix

SANDY SPRINGS THE NEXT TEN YEARS

City Council Retreat
January 2015



The Next Ten Years

7

Major Opportunities and Challenges

Opportunities

8

1. Strong Economy
2. Desirable Community to Live
3. New City Center

Challenges

9

- Sustainable Growth

Sustainable Growth

10

1. Preserve and Enhance Community Character
2. Increase Housing Choices
3. Achieve Priorities Beyond City Center
4. Crafting a Plan for the Future

Sustainable Growth

11

Strategy 1: Preserve and Enhance Community Character

Benefits:

Sandy Springs residents enjoy the best aspects of growth, while city retains reputation as a highly desirable community

Sustainable Growth

12

Strategy 2: Increase Housing Choices

Benefits:

Greater residential choices means an ample supply of housing for workforce and residents of all ages

Sustainable Growth

13

Strategy 3: Achieve Priorities Beyond City Center

Benefits:

Balanced growth, improved public facilities and services that result in an improved quality of life for all

Sustainable Growth

14

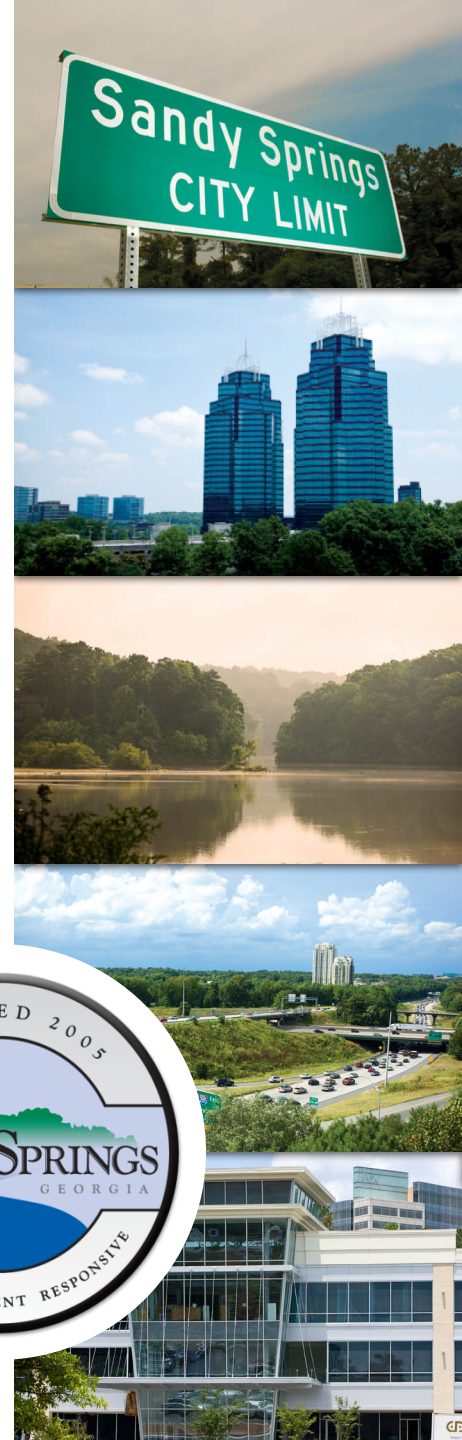
Strategy 4: Crafting a Plan for the Future

Benefits:

A plan to navigate new circumstances
Targeted plans for priority areas

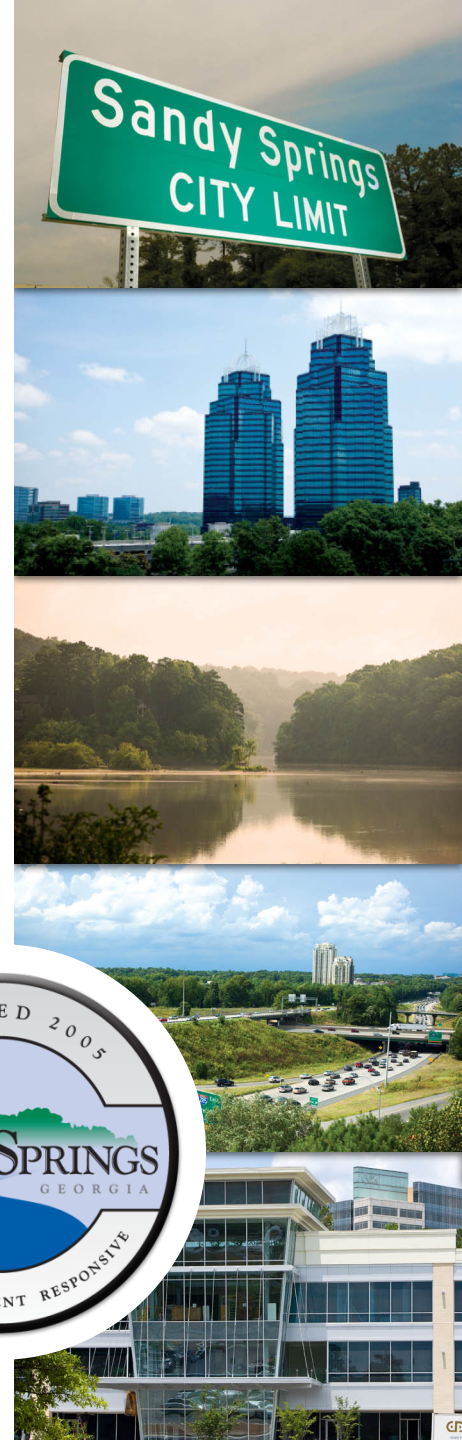
SANDY SPRINGS THE NEXT TEN YEARS

City Council Retreat
January 2015



SANDY SPRINGS COMPREHENSIVE PLAN UPDATE

City Council Retreat
January 27, 2015



2027 Comprehensive Plan

17

- Approved in 2007

Includes:

- Policies for housing, economic development, natural resources, redevelopment, land use, community facilities, parks, and transportation
- Activity nodes and policies for each node
- Short Term Work Program that must be updated annually
- The Land Use Plan Map

Comprehensive Plan Update

18

- Plan must be updated every 10 years
- Update must be completed by October 31, 2017
- Submittal to Atlanta Regional Commission and Department of Community Affairs for approval is required

2027 Comprehensive Plan

19

- The Plan has served its purpose; the development environment is different today
- Is too general, lacks specificity
- Does not provide adequate guidance, particularly regarding densities
- It is not a user friendly document
- The Land Use Plan Map lacks adequate detail along Roswell Road and within the PCID area

Incorporated December 1, 2005

2027 Comprehensive Plan Future Land Use Map Approved by the Sandy Springs Mayor and City Council November 20, 2007



Private Institutional Land Use Nodes

1. Cherokee College of Art and Design
2. Georgia Institute of Technology
3. The Center for the Study of the American South
4. The Center for the Study of the American South
5. The Center for the Study of the American South
6. The Center for the Study of the American South
7. The Center for the Study of the American South
8. The Center for the Study of the American South
9. The Center for the Study of the American South
10. The Center for the Study of the American South
11. The Center for the Study of the American South
12. The Center for the Study of the American South
13. The Center for the Study of the American South
14. The Center for the Study of the American South
15. The Center for the Study of the American South
16. The Center for the Study of the American South
17. The Center for the Study of the American South
18. The Center for the Study of the American South
19. The Center for the Study of the American South
20. The Center for the Study of the American South
21. The Center for the Study of the American South
22. The Center for the Study of the American South
23. The Center for the Study of the American South
24. The Center for the Study of the American South
25. The Center for the Study of the American South
26. The Center for the Study of the American South
27. The Center for the Study of the American South
28. The Center for the Study of the American South
29. The Center for the Study of the American South
30. The Center for the Study of the American South
31. The Center for the Study of the American South
32. The Center for the Study of the American South
33. The Center for the Study of the American South
34. The Center for the Study of the American South
35. The Center for the Study of the American South
36. The Center for the Study of the American South
37. The Center for the Study of the American South
38. The Center for the Study of the American South
39. The Center for the Study of the American South
40. The Center for the Study of the American South
41. The Center for the Study of the American South
42. The Center for the Study of the American South
43. The Center for the Study of the American South
44. The Center for the Study of the American South
45. The Center for the Study of the American South
46. The Center for the Study of the American South
47. The Center for the Study of the American South
48. The Center for the Study of the American South
49. The Center for the Study of the American South
50. The Center for the Study of the American South
51. The Center for the Study of the American South
52. The Center for the Study of the American South
53. The Center for the Study of the American South
54. The Center for the Study of the American South
55. The Center for the Study of the American South
56. The Center for the Study of the American South
57. The Center for the Study of the American South
58. The Center for the Study of the American South
59. The Center for the Study of the American South
60. The Center for the Study of the American South
61. The Center for the Study of the American South
62. The Center for the Study of the American South
63. The Center for the Study of the American South
64. The Center for the Study of the American South
65. The Center for the Study of the American South
66. The Center for the Study of the American South
67. The Center for the Study of the American South
68. The Center for the Study of the American South
69. The Center for the Study of the American South
70. The Center for the Study of the American South
71. The Center for the Study of the American South
72. The Center for the Study of the American South
73. The Center for the Study of the American South
74. The Center for the Study of the American South
75. The Center for the Study of the American South
76. The Center for the Study of the American South
77. The Center for the Study of the American South
78. The Center for the Study of the American South
79. The Center for the Study of the American South
80. The Center for the Study of the American South
81. The Center for the Study of the American South
82. The Center for the Study of the American South
83. The Center for the Study of the American South
84. The Center for the Study of the American South
85. The Center for the Study of the American South
86. The Center for the Study of the American South
87. The Center for the Study of the American South
88. The Center for the Study of the American South
89. The Center for the Study of the American South
90. The Center for the Study of the American South
91. The Center for the Study of the American South
92. The Center for the Study of the American South
93. The Center for the Study of the American South
94. The Center for the Study of the American South
95. The Center for the Study of the American South
96. The Center for the Study of the American South
97. The Center for the Study of the American South
98. The Center for the Study of the American South
99. The Center for the Study of the American South
100. The Center for the Study of the American South

Private Institutional Land Use Nodes

1. Winston Parkway
- 2A. Long Island Drive-Hickory Road
- 2B. Glenridge Drive
3. Rella Isle
4. Lake Place - Glenridge
5. Powers Ferry 205
6. PCID
7. I-285
8. Town Center
9. Vernon Woods
10. Abernathy
11. PCID No Retail Allowed
12. Oakridge
13. Northridge
14. Chastain Place

Private Institutional Land Use Nodes

1. Residential, 0 to 0.5 units per acre
2. Residential, 0.5 to 1 units per acre
3. Residential, 1 to 2 units per acre
4. Residential, 2 to 3 units per acre
5. Residential, 3 to 5 units per acre
6. Residential, 5 to 8 units per acre
7. Residential, 8 to 12 units per acre
8. Residential, 12 to 20 units per acre
9. Residential, over 20 units per acre
10. Living-Working Neighborhood
11. Living-Working Community
12. Living-Working Regional
13. Business Park
14. Commercial

Private Institutional Land Use Nodes

1. Office
2. Office - High Density
3. Industrial
4. Private Recreational
5. Public Recreational and Conservation
6. Stream and Water Bodies
7. Community Facility
8. Transportation
9. Landmarks
10. MRP Chastanochee River Corridor
11. MARTA Rail
12. Private Institutional Use
13. Schools
14. MARTA Station

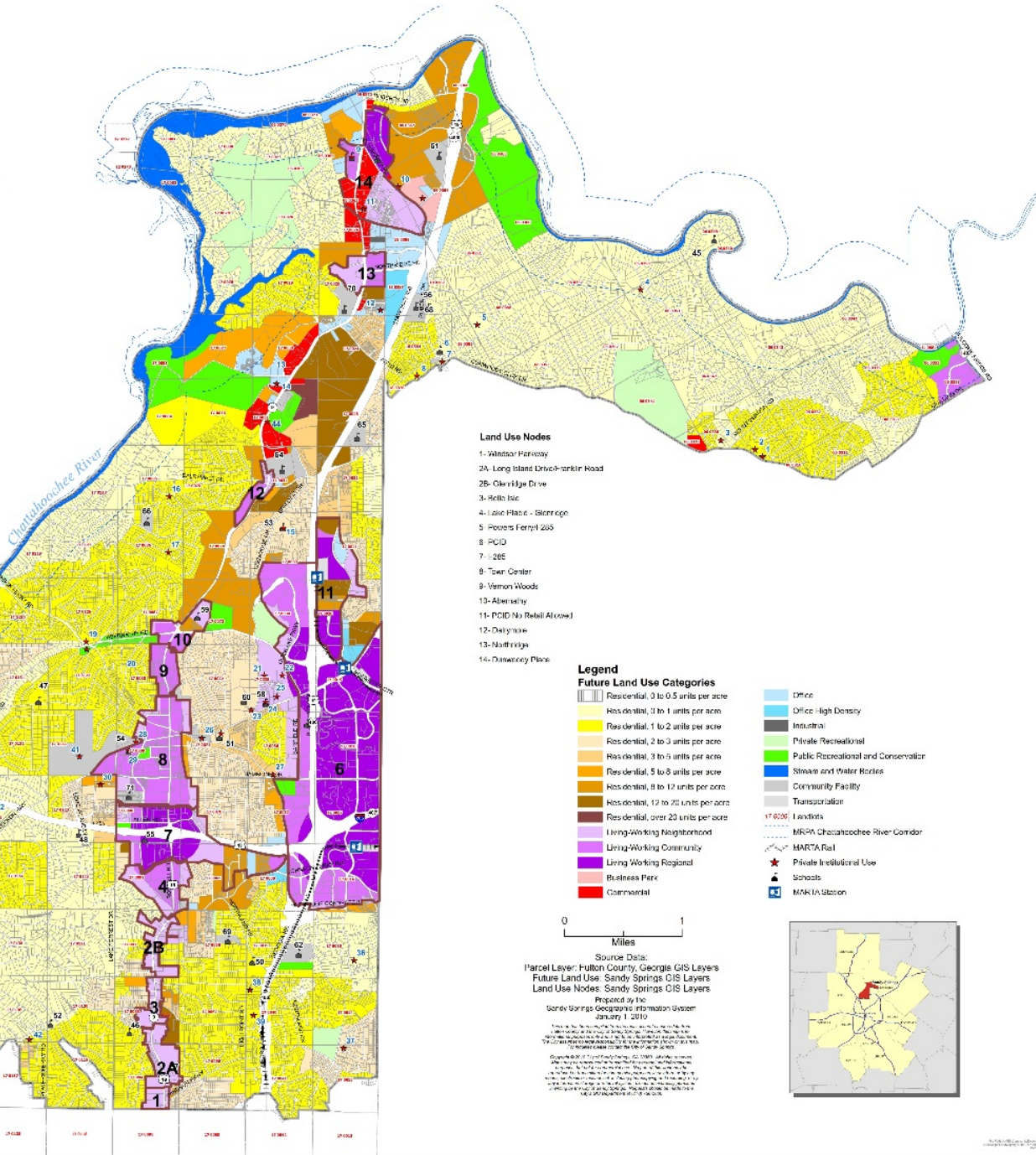
Private Institutional Land Use Nodes

1. Office
2. Office - High Density
3. Industrial
4. Private Recreational
5. Public Recreational and Conservation
6. Stream and Water Bodies
7. Community Facility
8. Transportation
9. Landmarks
10. MRP Chastanochee River Corridor
11. MARTA Rail
12. Private Institutional Use
13. Schools
14. MARTA Station

Private Institutional Land Use Nodes

Private Institutional Land Use Nodes

Private Institutional Land Use Nodes



Legend

Future Land Use Categories

- Residential, 0 to 0.5 units per acre
- Residential, 0.5 to 1 units per acre
- Residential, 1 to 2 units per acre
- Residential, 2 to 3 units per acre
- Residential, 3 to 5 units per acre
- Residential, 5 to 8 units per acre
- Residential, 8 to 12 units per acre
- Residential, 12 to 20 units per acre
- Residential, over 20 units per acre
- Living-Working Neighborhood
- Living-Working Community
- Living-Working Regional
- Business Park
- Commercial

0 1
Miles

Source Data:
Parcel Layer: Fulton County, Georgia GIS Layers
Future Land Use: Sandy Springs GIS Layers
Land Use Nodes: Sandy Springs GIS Layers
Prepared by:
Sandy Springs Geographic Information System
January 1, 2010

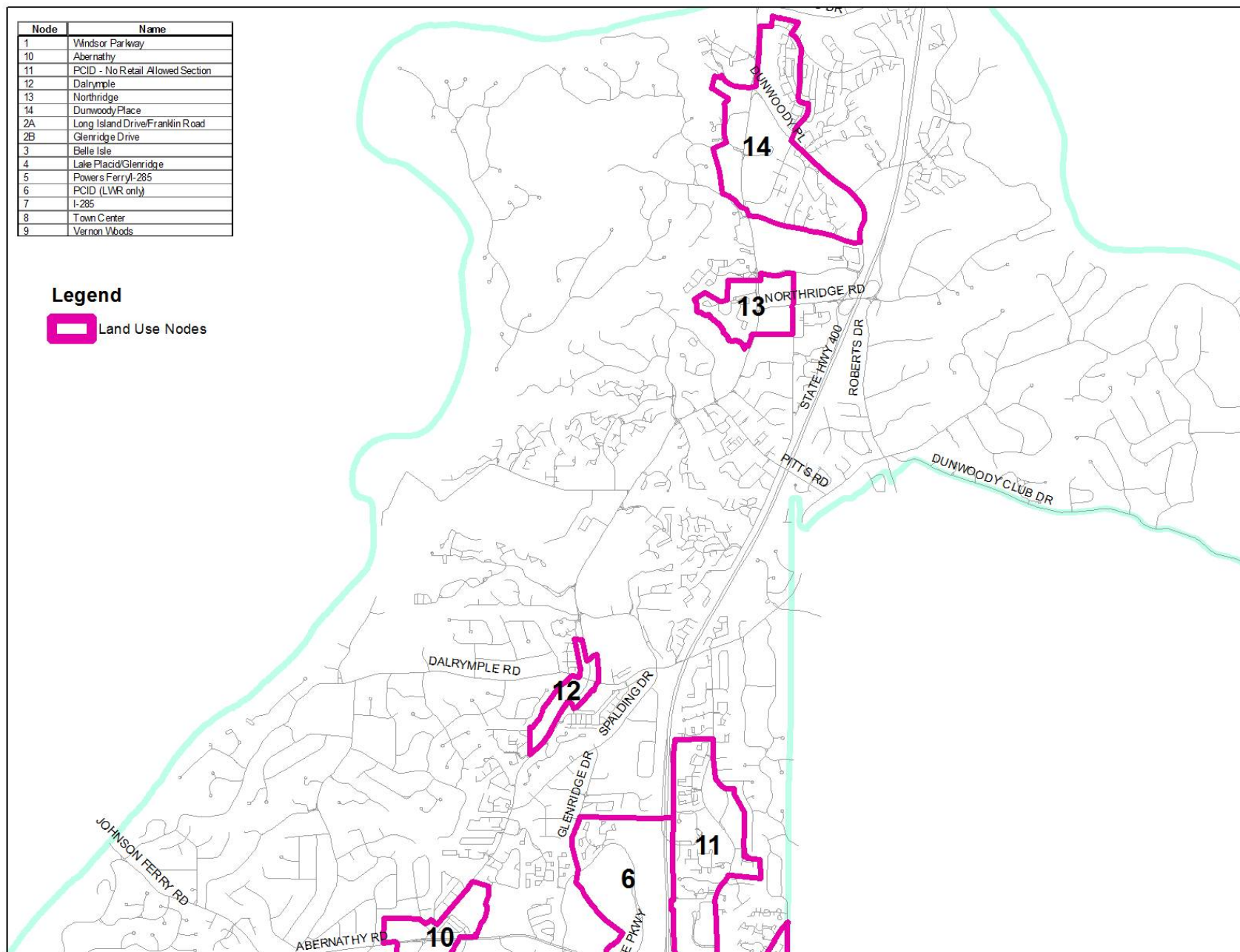
This map was prepared by the Sandy Springs Geographic Information System (GIS) using data from the Fulton County, Georgia GIS Layers. The map is a representation of the future land use plan for Sandy Springs, Georgia, and is not a guarantee of any future development. The map is subject to change without notice. The map is intended for informational purposes only and should not be used for any other purpose. The map is the property of the Sandy Springs Geographic Information System and is not to be reproduced without the written permission of the Sandy Springs Geographic Information System.



Node	Name
1	Windsor Parkway
10	Abernathy
11	PCID - No Retail Allowed Section
12	Dalrymple
13	Northridge
14	Dunwoody Place
2A	Long Island Drive/Franklin Road
2B	Glenridge Drive
3	Belle Isle
4	Lake Placid/Glenridge
5	Powers Ferry/I-285
6	PCID (LVR only)
7	I-285
8	Town Center
9	Vernon Woods

Legend

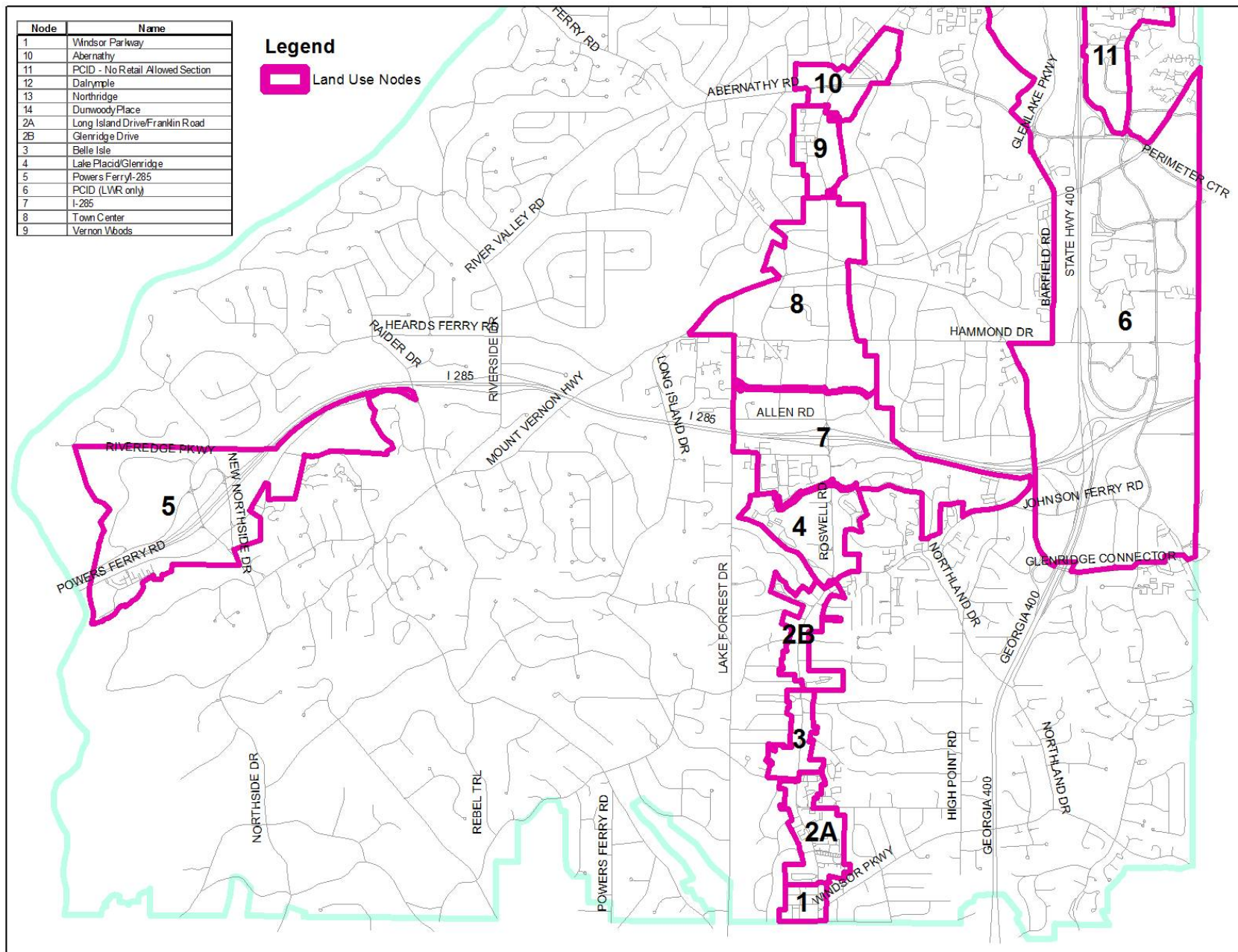
 Land Use Nodes



Node	Name
1	Windsor Parkway
10	Abernathy
11	PCID - No Retail Allowed Section
12	Dalrymple
13	Northridge
14	Dunwoody Place
2A	Long Island Drive/Franklin Road
2B	Glenridge Drive
3	Belle Isle
4	Lake Placid/Glenridge
5	Powers Ferry/I-285
6	PCID (LWR only)
7	I-285
8	Town Center
9	Vernon Woods

Legend

 Land Use Nodes



2037 Comprehensive Plan

23

Manage Growth to Ensure Success

- Obtain market analysis and other consultant assistance as appropriate
- Use the 15 nodes in the 2027 Comprehensive Plan as a starting point
- Develop small area plans that incorporate more detail than the existing Comprehensive Plan
- Significant community involvement, similar to Goody Clancy planning process
- Initial focus: PCID, City Center and the South Roswell Road area
- Comprehensive Plan that consists of City Wide component and small area plans

SANDY SPRINGS COMPREHENSIVE PLAN UPDATE

City Council Retreat
January 27, 2015

